



City of Saratoga Springs

BUILDING DEPARTMENT

474 BROADWAY, SUITE 32 - SARATOGA SPRINGS, NY 12866

PHONE 518-587-3550 EXT 2511

BUILDING.OFFICE@SARATOGA-SPRINGS.ORG

APPLICATION FOR SWIMMING POOL PERMIT

- APPLICATION MUST BE FILLED OUT COMPLETELY.** All information and signatures are required.
- The pool permit fee of **\$200.00 (residential) or \$350.00 (commercial)**; (check made payable to *Commissioner of Finance*) must accompany application. **Permit will be valid for one year from date of issuance.**

A Final inspection will be required once pool is complete in order to get a Certificate of Occupancy.

Location Information

JOB SITE ADDRESS _____

TAX MAP ID# _____

ZONING DISTRICT _____

COST OF WORK \$ _____

ARCHITECTURAL REVIEW DISTRICT YES NO

D.R.C. DECISION DATE _____
(PLEASE ATTACH COPY OF DECISION)

HISTORIC REVIEW DISTRICT YES NO

H.O.A. APPROVAL DATE (IF ANY) _____
(PLEASE ATTACH COPY OF APPROVAL)

IS JOB SITE IN A FLOOD PLAIN? YES NO

CID# _____

PROPERTY OWNER INFORMATION

OWNER'S NAME _____

PHONE _____

ADDRESS _____

EMAIL _____

OWNER'S SIGNATURE _____ DATE _____

APPLICANT INFORMATION

APPLICANT _____

PHONE _____

ADDRESS _____

EMAIL _____

APPLICANT'S SIGNATURE _____ DATE _____

CONTRACTOR INFORMATION

CID# _____

POOL CONTRACTOR _____

PHONE _____

ADDRESS _____

EMAIL _____

CONTRACTOR'S SIGNATURE _____ DATE _____

POOL INFORMATION

ABOVE GROUND_ IN GROUND_ DIMENSIONS _____ FENCE TYPE _____

FENCE HEIGHT _____ HEIGHT OF POOL WALL (IF AN ABOVE GROUND POOL) _____

CODE COMPLIANCE INFORMATION

RESIDENTIAL - NYS SUPPLEMENT TO THE INTERNATIONAL RESIDENTIAL CODE SECTION R326, ENERGY CODE R403.10

COMMERCIAL - NYS SUPPLEMENT TO THE INTERNATIONAL BUILDING CODE SECTION 3109.7, ENERGY CODE C404.9

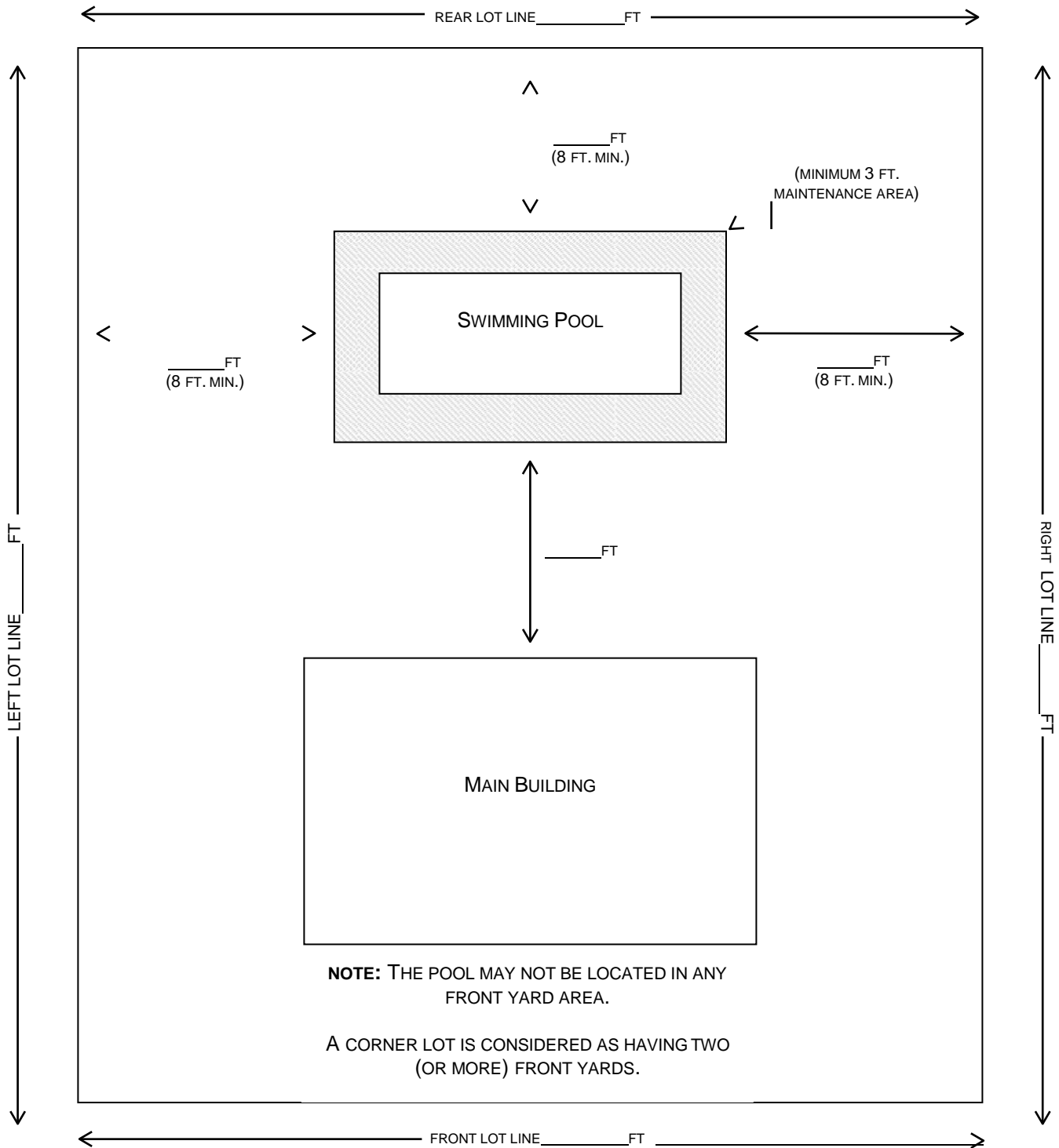
FOR STAFF USE ONLY:

FILE # _____ DATE APPLIED _____ RECEIVED BY _____

APPLICATION # _____ PERMIT # _____ DATE ISSUED _____

Locate pool, fencing and gates, main building (including additions) and any accessory buildings. Give all yard dimensions. All elements of the septic system, if there is one on the property, must be accurately located on the plot plan.

NOTE: No pool wall or related structure shall be located within eight (8) feet of an adjoining lot line. An open and unobstructed maintenance area of at least three (3) feet in width shall be maintained along the walls of the pool, inside of any barrier around the pool.



***** PLEASE FILL OUT THE ATTACHED ZONING COMPLIANCE CHART *****

SWIMMING POOL PERMIT APPLICATION REQUIREMENTS

THE FOLLOWING INFORMATION MUST BE PROVIDED:

1. Liability insurance coverage:
 - (a) For general contractors acting in the capacity of a general contractor: a Certificate of Insurance on an ACCORD form with Commercial General Liability Insurance of One Million Dollars (\$1,000,000) per occurrence aggregate naming the City of Saratoga Springs as an Additional Insured and Certificate Holder;
 - (b) For homeowners acting as general contractor, see Homeowner Insurance Requirements.
 - (c) All applicants must provide proof of NYS Statutory Workers Compensation (form C105.2) and Disability Insurance (form DB120.1) or a waiver of same as determined by the NYS Workers Compensation Board (Homeowners – form BP-1; Contractors – form CE-200).
2. The attached plot plan must be filled out completely. Include a survey (if available), showing pool location as well as location of fencing, location of main building (including and additions), any accessory structures, etc. and all yard dimensions.
3. An approved electrical inspection agency must inspect and provide a certificate of compliance for all electrical work.
 1. Residential - Section R326 of the NYS Supplement to the International Residential Code
Commercial – Section 3109.7 of the NYS Supplement to the International Building Code
These codes must be strictly adhered to, as well as all applicable local or state regulations.
 - (a) Fencing, gate, and other specifications and dimensioned drawings to address barrier requirements of the code shall accompany this application.
 - (b) Information on any ladder or steps accessing an above ground pool shall accompany this application.
 - (c) If a wall of a dwelling serves as part of the barrier, specify the compliance alternative as set forth in section R326.

HOLD HARMLESS:

THE INDIVIDUAL FILING THIS APPLICATION, TO THE FULLEST EXTENT PROVIDED BY LAW, SHALL INDEMNIFY AND SAVE HARMLESS THE CITY OF SARATOGA SPRINGS, ITS AGENTS AND EMPLOYEES (HEREINAFTER REFERRED TO AS "CITY"), FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSE (INCLUDING, BUT NOT LIMITED TO, ATTORNEYS' FEES), ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK COVERED BY THIS BUILDING PERMIT APPLICATION, SUSTAINED BY ANY PERSON OR PERSONS, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH, OR TO INJURY TO OR DESTRUCTION OF PROPERTY CAUSED BY THE TORTIOUS ACT OR NEGLIGENT ACT OR OMISSION OF APPLICANT, ITS CONTRACTOR OR ITS EMPLOYEES OR ANYONE FOR WHOM THE CONTRACTOR IS LEGALLY LIABLE OR SUBCONTRACTORS. _____ (INITIAL)

AS THE OWNER OF THE PROPERTY SUBJECT TO THIS PERMIT APPLICATION, I UNDERSTAND THAT A CERTIFICATE OF OCCUPANCY MUST BE ISSUED BY THE BUILDING DEPARTMENT BEFORE I AM LEGALLY ALLOWED TO USE MY POOL. I FURTHER UNDERSTAND THAT AS THE OWNER, IT IS MY RESPONSIBILITY TO CONTACT THE BUILDING DEPARTMENT FOR A FINAL INSPECTION BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED. I ACKNOWLEDGE THAT USE OF THE POOL WITHOUT OBTAINING A CERTIFICATE OF OCCUPANCY IS A VIOLATION OF SARATOGA SPRINGS CITY CODE AND NEW YORK STATE UNIFORM CODE, AND I HEREBY KNOWINGLY ACCEPT ALL RISK AND LIABILITY FOR UNAUTHORIZED USE.

PROPERTY OWNERS SIGNATURE _____

QUESTIONNAIRE REGARDING BARRIER REQUIREMENTS AND ENERGY CONSERVING REQUIREMENTS OF THE CODES OF NEW YORK STATE FOR RESIDENTIAL SWIMMING POOLS, SPAS AND HOT TUBS

AS PART OF THE APPLICATION FOR SWIMMING POOL PERMIT, A COPY OF SECTION R326 OF THE NYS SUPPLEMENT TO THE INTERNATIONAL RESIDENTIAL CODE, AS WELL AS SECTION R403.10 OF THE INTERNATIONAL ENERGY CODE.

YOU CAN FIND THE LINK TO THE INTERNATIONAL CODE ON OUR WEBSITE.

PLEASE CHECK **YES** OR **NO** TO ALL APPLICABLE QUESTIONS, AND **N/A** TO ANY THAT DO NOT APPLY TO YOUR INSTALLATION.

THIS APPLICATION RELATES TO INSTALLATION OF THE FOLLOWING (CIRCLE ONLY ONE):

IN-GROUND POOL ABOVE-GROUND POOL ON-GROUND POOL HOT TUB SPA

AT THE FOLLOWING ADDRESS: _____

QUESTIONS RELATING TO BARRIER REQUIREMENTS OF SECTION R326

	YES	NO	N/A
1. Will the top of the barrier be at least 48 inches above grade? Will the bottom of the barrier be no more than 2 inches above grade (measured on the side of the barrier facing away from the swimming pool)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will openings in the barrier allow passage of a 4-inch diameter sphere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. If a solid barrier, such as masonry or stone wall, will there be any indentations or protrusions except for normal construction tolerances and tooled masonry joints?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. If the barrier is composed of horizontal and vertical members: a. Is the distance between the tops of the horizontal members less than 45 inches? • If yes, are the horizontal members located on the swimming pool side of the fence • If yes, is the spacing between vertical members greater than 1.75 inches? • If there are decorative cutouts within the vertical members, does spacing within the cutouts exceed 1.75 inches in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. If the barrier is composed of horizontal and vertical members: a. Is the distance between the tops of the horizontal members 45 inches or more? • If yes, is the spacing between vertical members greater than 4 inches? • If there are decorative cutouts within the vertical members, does spacing within the cutouts exceed 1.75 inches in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. If a chain link fence, does the mesh size exceed a 2.25-inch square? a) If yes, are slats provided which reduce the openings to not more than 1.75 inches?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. If the barrier is composed of diagonal members, such as a lattice fence, is the maximum opening formed by the diagonal members more than 1.75 inches?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

QUESTIONS RELATING TO BARRIER REQUIREMENTS (CONTINUED)

	YES	NO	N/A
8. Will access gates be securely locked with a key, combination or other child-proof lock sufficient to prevent access to the swimming pool through such gate when the swimming pool is not in use or supervised? a) Do pedestrian access gates open outward, away from the pool? b) Will all access gates be self-closing and have self-latching devices? c) Will the release mechanism of the self-latching device be located less than 54 inches from the bottom of the gate? • If yes, will the release mechanism be located on the pool side of the gate and at least 3 inches below the top of the gate? And... • Will the gate and barrier have any opening greater than 0.5 inches within 18 inches of the release mechanism?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the wall of the dwelling serve as part of the barrier? a) If yes, will the pool be equipped with a powered safety cover, in compliance with ASTM F1346? Or... b) Will all doors with direct access to the pool through that wall be equipped with an alarm, which produces an audible warning when the door and its screen, if present, are opened? (See code for additional specifications for this alarm if you answered yes to this question!)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Is an above-ground pool structure used as a barrier? Is the barrier mounted on top of the pool structure? The maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches. a) If yes to either, are the ladder or steps capable of being secured, locked, or removed to prevent access? Or... b) Are the ladder or steps surrounded by a barrier, which meets the requirements of section R326.5, items 1-10. c) With the ladder or steps secured, locked, or removed, does any opening created allow passage of a 4-inch diameter sphere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Are suction outlets and fittings protected against user entrapment in accordance with Section R326.6 of the Residential Code of NYS.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Will there be swimming pool alarms provided, as required by Section 326.7.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Will there be a temporary swimming pool enclosure, as required by Section 326.5.2.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Completed Zoning Compliance Chart	<input type="checkbox"/>	<input type="checkbox"/>	

***** ALL BARRIERS USED TO SURROUND POOL MUST BELONG TO THE PROPERTY IN WHICH THE POOL IS LOCATED (YOU CANNOT USE A NEIGHBOR'S FENCE AS A BARRIER TO YOUR POOL). *****

I HAVE READ THESE CODE REQUIREMENTS INSOFAR AS THEY MAY APPLY TO MY APPLICATION FOR A SWIMMING POOL PERMIT AND QUESTIONS HAVE BEEN ANSWERED TRUTHFULLY AND TO THE BEST OF MY KNOWLEDGE.

PROPERTY OWNER'S SIGNATURE

DATE SIGNED

RESIDENTIAL ZONING COMPLIANCE CHART

Area and Bulk Schedule

REQUIRED WITH PERMIT APPLICATION FOR NEW CONSTRUCTION, ADDITIONS, DECKS AND ACCESSORY STRUCTURES.

Step 1. Highlight the row containing your zoning district's area and bulk schedule information.

ZONING DISTRICT	MINIMUM LOT SIZE SQUARE FEET (SF)	MINIMUM AVERAGE WIDTH (FT.)	MAXIMUM BUILDING COVERAGE PERCENTAGE		MIN. YARD SETBACK (FEET)				PRINCIPAL BUILDINGS		MINIMUM DISTANCE TO ACCESSORY BUILDING (FEET)				MINIMUM % TO REMAIN PERMEABLE
			PRINCIPAL BLDG.	ACCESS. BLDG.	FRONT	REAR	EACH SIDE	TOTAL SIDE	MINIMUM 1 ST FLOOR AREA (SF)	MAX. HEIGHT (FEET)	PRINCIPAL BUILDING	FRONT LOT LINE	SIDE LOT LINE	REAR LOT LINE	
RR (F)	2 acres	200	15	5	60	100	30	100	----	35	5	60	30	50	80
SR-1 (F)	40,000	125	20	8	40	40	15	35	----	35	5	40	10	10	40
SR-2	20,000 (A)	100	25	8	30	30	12	30	----	35	5	30	5	5	30
UR-1	12,500 (A)	100	20	8	30	30	12	30	1 Story = 1,100 2 Story = 800	60	5	30	5	5	30
UR-2	6,600 (A)	60	30	10	10	25	8	20	1 Story = 900 2 Story = 700	60	5	10	5	5	25
UR-3	6,600 1-unit / 8,000 2-units	60 1-unit / 80 2-units	30	10	10	25	4	12	1 Story = 1,200 2 Story = 800	60	5	10	5	5	25
UR-4	3,000/DU	100	25	15	25	25	20	45	1 Story = 1,800 2 Story = 1,200	70	10	25	5	5	15
UR-4A	2,000/DU	60 1-unit / 80 2-units	30	10	10	25	4	12	1 Story = 1,200 2 Story = 800	70	5	10	5	5	15
UR-5	3,000/DU	100	25	15	25	25	20	45	1 Story = 1,800 2 Story = 1,200	185	20	20	10	10	15
UR-6	4,800	60	30	10	25	25	8	20	900	35	5	25	5	5	25
UR-7	4,000	50	45	10	10	10	4	8	1,000	35	5	10	5	5	20
NCU-1	6,600 1-unit / 8,000 2-units	60 1-unit / 80 2-units	30	10	10	25	4	12	1 story = 1,200 2 story = 800	60	5	10	5	5	25
NCU-2	6,600 1-unit / 8,000 2-units	60 1-unit / 80 2-units	30	10	10	25	4	12	1 story = 1,200 2 story = 800	60	5	10	5	5	25
NCU-3	3,000/DU	60 (H)	30	10	10 (I)	25	4 (J)	12	1 story = 1,800 2 story = 1,200	50	5	10	5	5	20

Step 2. Provide this information as it pertains to your proposed scope of work in your zoning district.

Your District															
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